

OAKLAND COUNTY BOARD OF COMMISSIONERS

1200 NORTH TELEGRAPH ROAD, PONTIAC, MICHIGAN 48341-0470

Telephone: (248) 858-0100 FAX: (248) 858-1572

COORDINATING ZONING COMMITTEE

*Gwen Markham, Chairperson
(Via Videoconference)*

*Gary McGillivray,
Vice Chairperson*

Philip Weipert

February 10, 2021

Chairperson Markham called the meeting of the Coordinating Zoning Committee to order at 9:01 a.m. via Videoconference.

MEMBERS PRESENT:

Gwen Markham (Novi, MI), Gary McGillivray (Madison Heights, MI), Philip Weipert (South Lyon, MI)

MEMBERS ABSENT:

None

APPROVAL OF THE MINUTES

McGillivray moved approval of the minutes of December 1, 2020, as presented. Seconded by Weipert.

Motion carried.

APPROVAL OF THE AGENDA

Weipert moved approval of the agenda, as presented. Seconded by McGillivray.

Motion carried.

PUBLIC COMMENT

None.

REGULAR AGENDA

1. COUNTY CODE NO. MP 21-01, PLANNING & ECONOMIC DEVELOPMENT SERVICES' REVIEW OF THE MADISON HEIGHTS MASTER PLAN UPDATE

Scott Kree, Senior Planner, Department of Economic Development, gave a brief overview, via PowerPoint presentation, of the current land use designations and demographics within the City of Madison Heights. The last Master Plan update was done in 2007. Mr. Kree gave some highlights regarding the proposed Master Plan update, which are detailed in the documents provided.

Mr. Kree provided information regarding the communities that border Madison Heights, including the cities of Hazel Park, Royal Oak, Troy and Warren (Macomb County), indicating the City of Madison Heights' proposed Master Plan is compatible with bordering communities. Following are some recommendations for the draft Master Plan from Oakland County Economic Development staff:

- Include Oakland County Michigan Natural Features Inventory data
- Reference the People Powered Transportation Plan and Sidewalk Repair Program
- Expand mobility enhancements topic
- Clarify where the Beverly redevelopment site is located
- Consider making the Resiliency & Sustainability portion its own section
- Define reference to the mobile home section
- Add DDA boundary along 11 Mile Road information
- Include and identify Gravel Park
- Update Future Land Use Map areas regarding: Monroe Park area where an admin. building was

demolished and replaced with residential, single-family homes in 2018; and Madison Elementary School area, which was updated in 2015

- Review the designation of identified private roads
- Expand on the community's existing Brownfield initiative
- Consider enhancing the image quality of maps prior to finalizing the proposed Master Plan

McGillivray moved that based on the review of the surrounding communities' Master Plans, the City of Madison Heights' Master Plan Update is not inconsistent with the plan of any city, village or township that received notice of the draft plan. Seconded by Weipert.

Motion carried unanimously on a roll call vote.

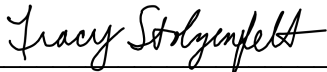
COMMUNICATIONS

None.

OTHER BUSINESS/ADJOURNMENT

Ingrid Tighe, Director of Economic Development, introduced herself to the Committee.

There being no further business to come before the Committee, the meeting adjourned at 9:29 a.m.



Tracy Stolzenfeld, Committee Coordinator



Megan C. Sellers, Operations Supervisor

NOTE: The foregoing minutes are subject to Committee approval.